



MILLIS

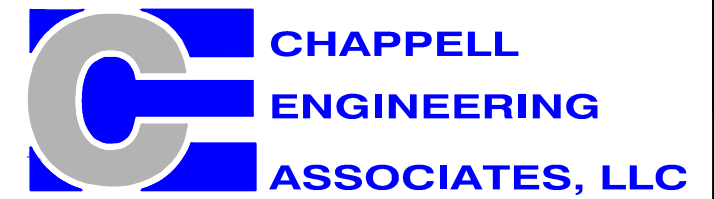
SITE ID: WEC-MA-07

121 NORFOLK ROAD
MILLIS, MA 02054

SITE TYPE: 150' MONOPOLE



38 W. MARKET STREET
RHINEBECK, NY 12572
OFFICE: (914) 712-0000
www.wirelessedge.com



R.K. EXECUTIVE CENTRE
201 BOSTON POST ROAD WEST, SUITE 101
MARLBOROUGH, MA 01752
(508) 481-7400
www.chappellengineering.com



ENGINEER/LAND SURVEYOR DATE

IT IS A VIOLATION OF LAW FOR ANY PERSON,
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OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

REVISIONS

REV. #	DATE	DESCRIPTION
2	01/29/24	ZONING REVISED
1	01/23/24	ISSUED FOR ZONING
0	12/15/23	ISSUED FOR ZONING REVIEW

PROJECT NO. 1610.008	DESIGNED BY: JMT DRAWN BY: CMC CHECK'D BY: JMT	SCALE: AS SHOWN
-------------------------	--	--------------------

SITE NAME:

**MILLIS
WEC-MA-07**

SITE ADDRESS:

121 NORFOLK ROAD
MILLIS, MA 02054

DRAWING TITLE:

TITLE SHEET

DRAWING NO:

T-1

GENERAL NOTES

1. THE CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK. THE WORK PERFORMED ON THE PROJECT AND THE MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES.
2. THE ARCHITECT/ENGINEER HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. THE CONTRACTOR BIDDING THE JOB IS NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS.
3. THE CONTRACTOR OR BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE PROJECT OWNER'S REPRESENTATIVE OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL OR PERFORMANCE OF WORK. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED IN WRITING OTHERWISE.
4. THE SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ALL OTHER MATERIALS AND LABOR DEEMED NECESSARY TO COMPLETE THE WORK/PROJECT AS DESCRIBED HEREIN.
5. THE CONTRACTOR SHALL VISIT THE JOB SITE PRIOR TO THE SUBMISSION OF BIDS OR PERFORMING WORK TO FAMILIARIZE HIMSELF WITH THE FIELD CONDITIONS AND TO VERIFY THAT THE PROJECT CAN BE CONSTRUCTED IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. THE CONTRACTOR SHALL OBTAIN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.
7. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO THE MANUFACTURER'S/VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.
8. THE CONTRACTOR SHALL PROVIDE A FULL SET OF CONSTRUCTION DOCUMENTS AT THE SITE UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS AVAILABLE FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.
9. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
10. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY CONSTRUCTION CONTROL SURVEYS, ESTABLISHING AND MAINTAINING ALL LINES AND GRADES REQUIRED TO CONSTRUCT ALL IMPROVEMENTS AS SHOWN HEREIN.
11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS WHICH MAY BE REQUIRED FOR THE WORK BY THE ARCHITECT/ENGINEER, THE STATE, COUNTY OR LOCAL GOVERNMENT AUTHORITY.
12. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO CONSTRUCTION ON OR ABOUT THE PROPERTY.
13. THE CONTRACTOR SHALL KEEP THE GENERAL WORK AREA CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.
14. THE CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS AS THEY APPLY TO THIS PROJECT.
15. THE CONTRACTOR SHALL NOTIFY THE PROJECT OWNER'S REPRESENTATIVE WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE WORK THAT IS IN CONFLICT UNTIL CONFLICT IS RESOLVED BY THE PROJECT OWNER'S REPRESENTATIVE.
16. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB.
17. ALL UNDERGROUND UTILITY INFORMATION WAS DETERMINED FROM SURFACE INVESTIGATIONS AND EXISTING PLANS OF RECORD. THE CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES IN THE FIELD PRIOR TO ANY SITE WORK. CALL THE FOLLOWING FOR ALL PRE-CONSTRUCTION NOTIFICATION 72-HOURS PRIOR TO ANY EXCAVATION ACTIVITY: DIG SAFE SYSTEM (MA, ME, NH, RI, VT): 1-888-344-7233 CALL BEFORE YOU DIG (CT): 1-800-922-4455

VICINITY MAP: 1"=1000'



DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE PROJECT OWNER'S REPRESENTATIVE IN WRITING OF DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

SHEET INDEX

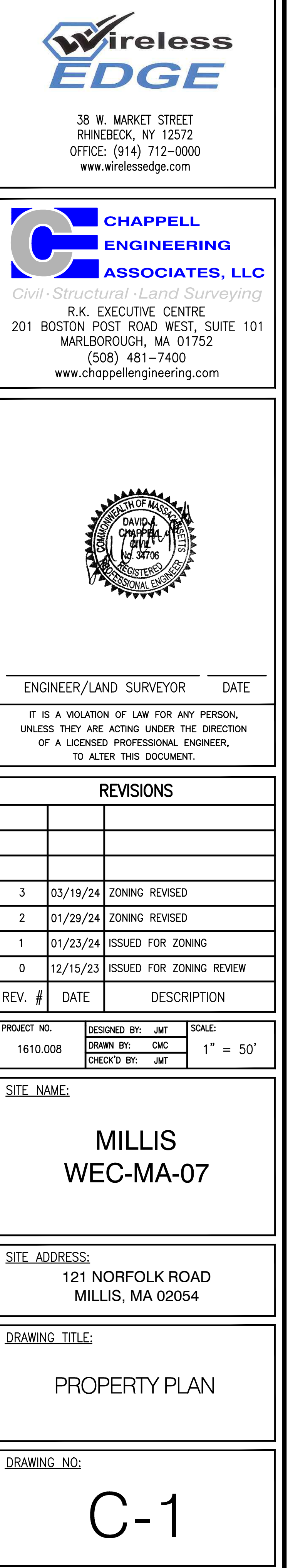
SHT. NO.	DESCRIPTION	REV.
T-1	TITLE SHEET	3
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C-2	SITE PLAN	3
C-3	ACCESS WAY	3
Z-1	COMPOUND PLAN & ELEVATION	3
Z-2	SITE DETAILS	3
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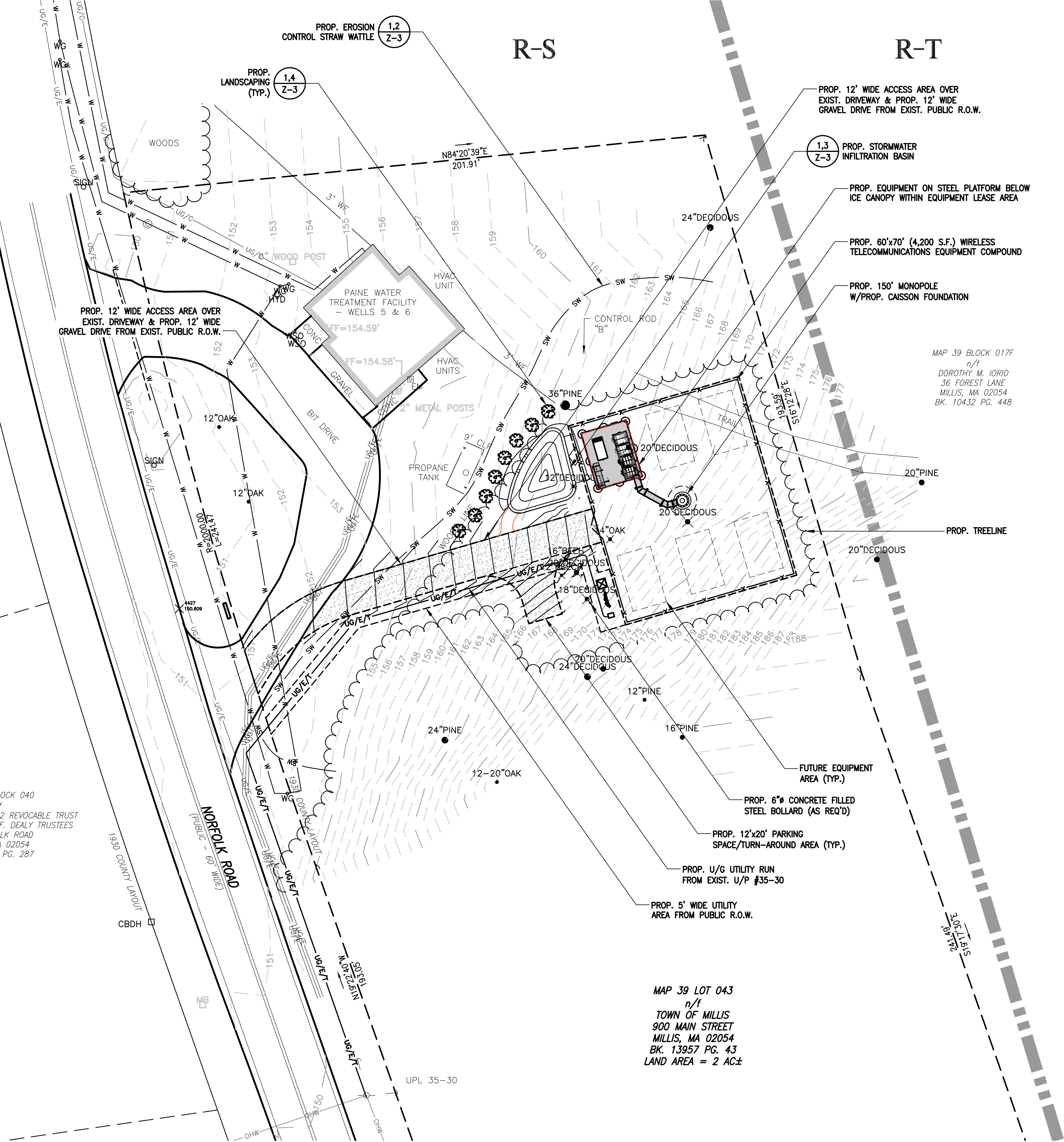
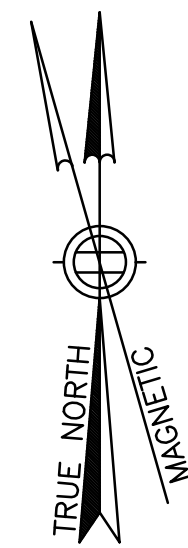
PROJECT SUMMARY

SITE NUMBER: WEC-MA-07
SITE NAME: MILLIS
SITE ADDRESS: 121 NORFOLK ROAD
MILLIS, MA 02054
LATITUDE: N 42°-09'-04.07"
LONGITUDE: W 71°-21'-08.09"
ASSESSOR'S PARCEL NO.: MAP 39 LOT 043
ZONING DISTRICT: R-S (RESIDENTIAL SUBURBAN)
TOWER TYPE: 150' MONOPOLE
LAND OWNER: TOWN OF MILLIS
900 MAIN STREET
MILLIS, MA 02054
APPLICANT: WIRELESS EDGE TOWERS II, LLC
38 W. MARKET STREET
RHINEBECK, NY 12572
CO-APPLICANT: CELLCO PARTNERSHIP
(dba VERIZON WIRELESS)
118 FLANDERS ROAD
WESTBOROUGH, MA 01581
ARCHITECT: CHAPPELL ENGINEERING ASSOCIATES, LLC
201 BOSTON POST ROAD WEST, SUITE 101
MARLBOROUGH, MA 01752
STRUCTURAL ENGINEER: CHAPPELL ENGINEERING ASSOCIATES, LLC
201 BOSTON POST ROAD WEST, SUITE 101
MARLBOROUGH, MA 01752

ZONING DRAWINGS

(NOT FOR CONSTRUCTION)



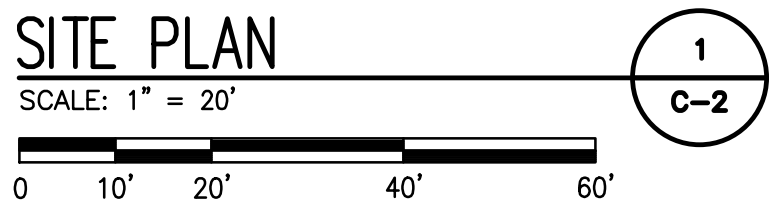


LEGEND	
	EXISTING ROW/EASEMENT
	PROPERTY LINE
	ABUTTING PROPERTY LINE
	EXIST. EASEMENT
	PROPERTY OFFSET LINE
	EXIST. TREELINE
	EXIST. WETLANDS
	EXIST. STONEWALL
	EXIST. CHAIN LINK FENCE
	EXIST. STOCKADE FENCE
	ZONING BOUNDARY
	TOWN LINE
	EXIST. EDGE OF PAVEMENT
	EXIST. OVERHEAD UTILITIES
	PROP. OVERHEAD UTILITIES
	PROP. UTILITIES
	EXIST. UTILITY POLE
	HYDRANT
	DRILL HOLE
	STONE/CONC. BOUND
	TELCO MANHOLE
	SEWER MANHOLE
	WATER MANHOLE
	DRAINAGE MANHOLE
	CATCH BASIN
	GAS VALVE
	WATER VALVE

ZONING DISTRICT LEGEND	
R-S	RESIDENTIAL SUBURBAN
R-T	RESIDENTIAL TOWN

SITE CONTROL POINT
CENTER OF PROPOSED MONOPOLE
NAD 83 LATITUDE: N.42° 09' 04.07"
NAD 83 LONGITUDE: W.71° 21' 08.09"
GROUND ELEVATION: 169.0'±

TREE LEGEND	
	= TO REMAIN
	= TO BE REMOVED



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MILLIS WEC-MA-07

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MILLIS, MA 02054

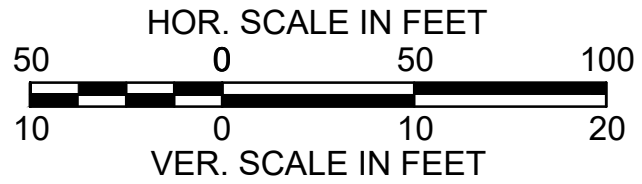
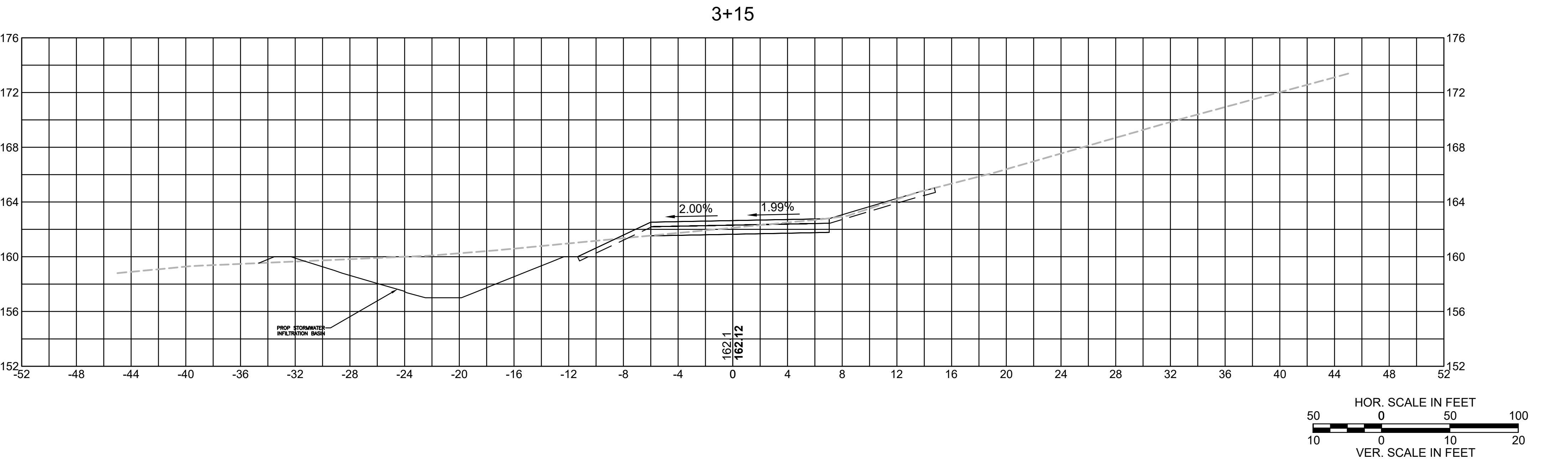
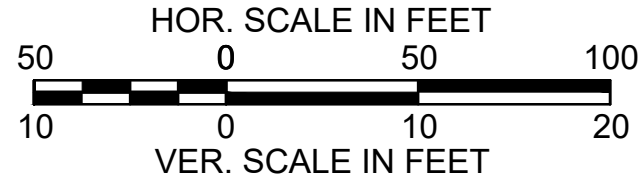
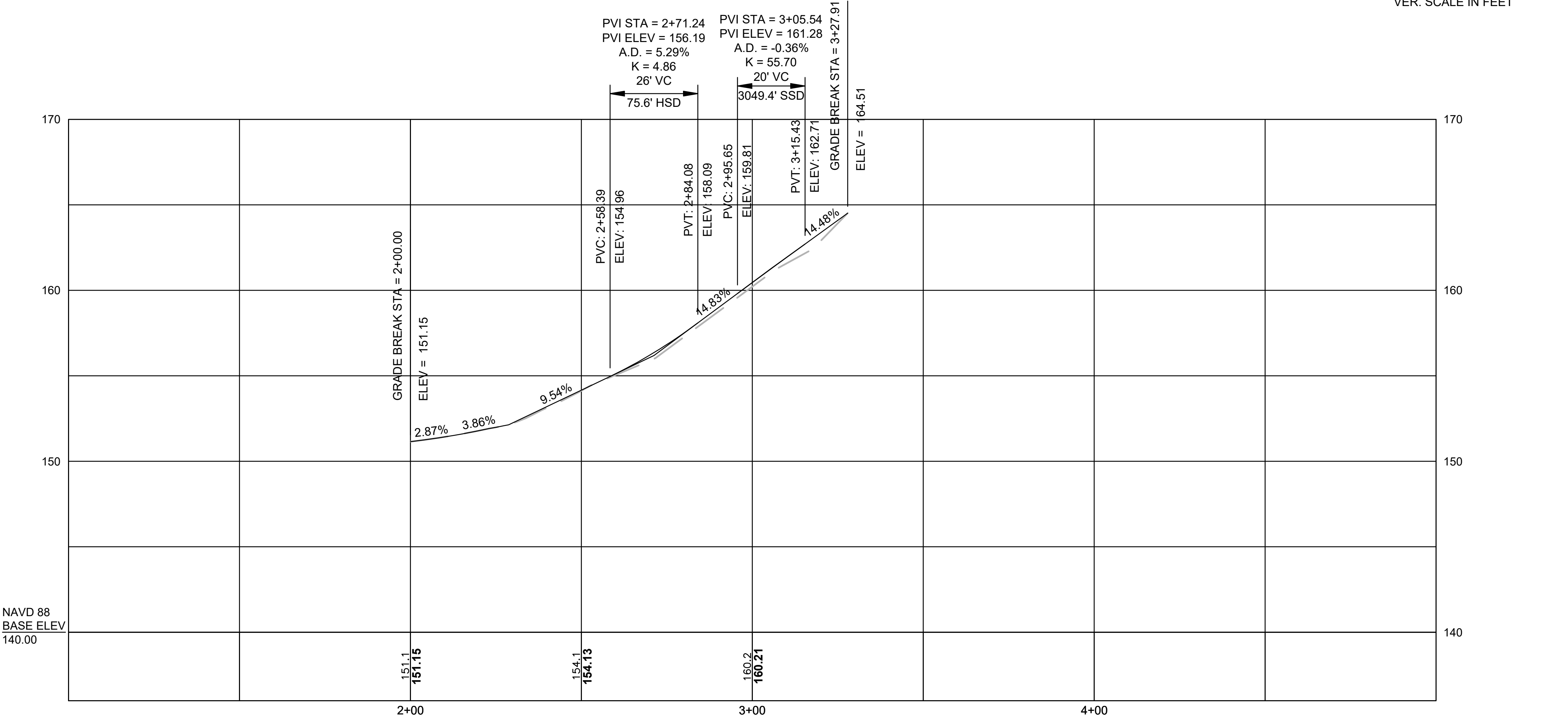
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SITE PLAN

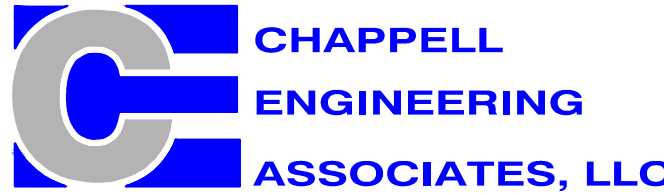
DRAWING NO:

C-2

PROP ACCESS RD ALIGNMENT



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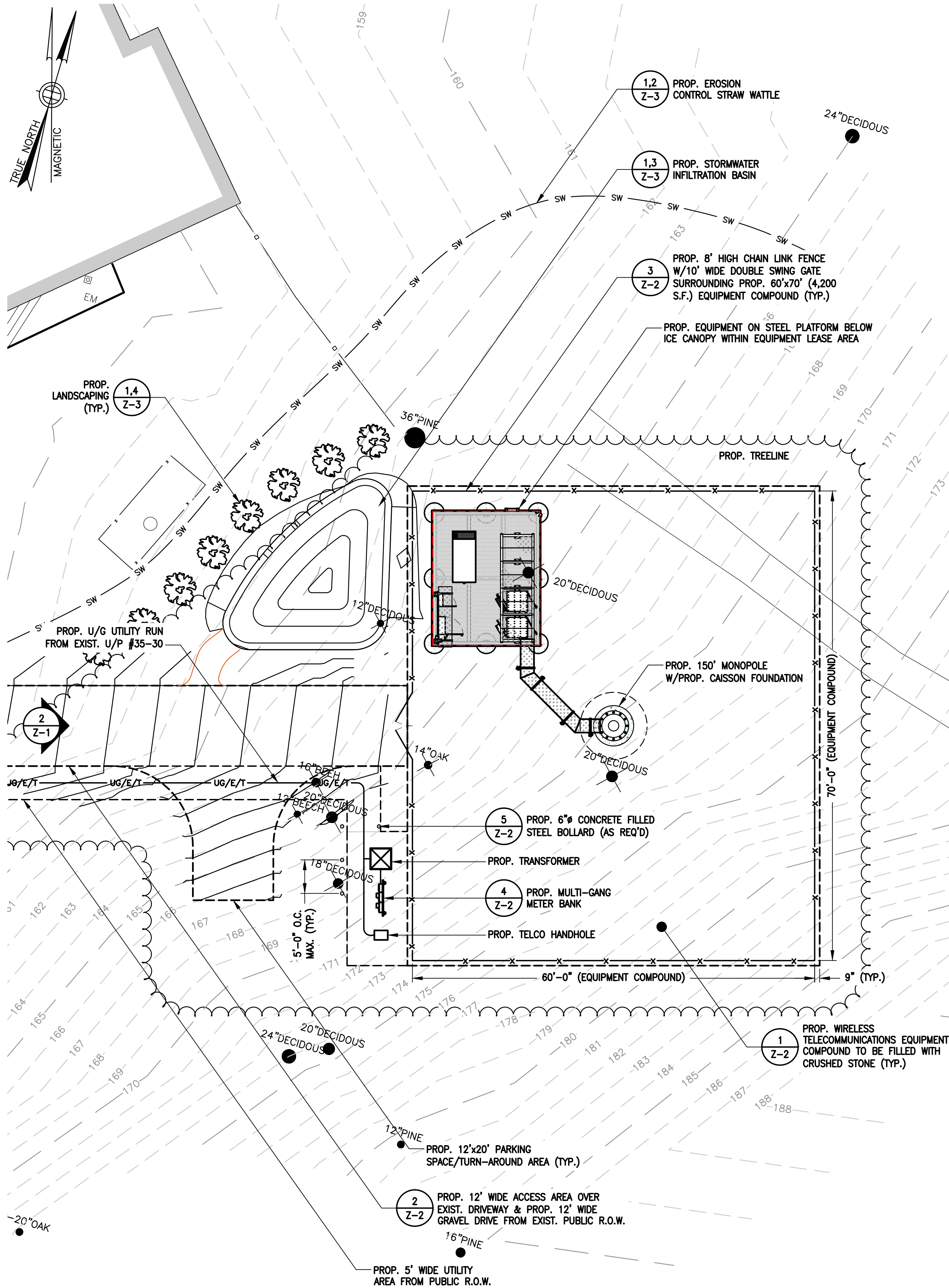
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DRAWING TITLE:

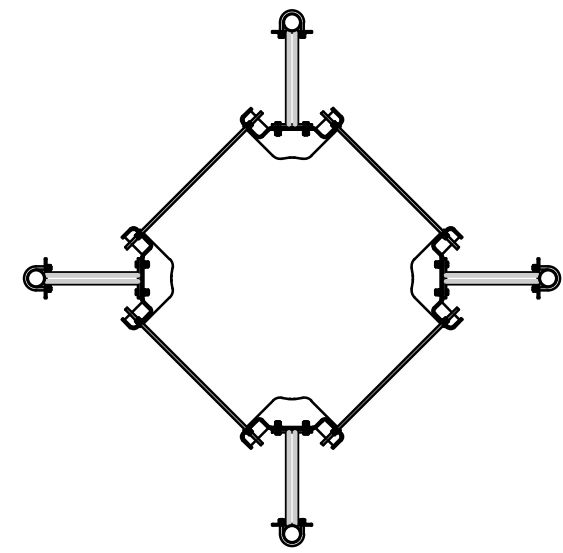
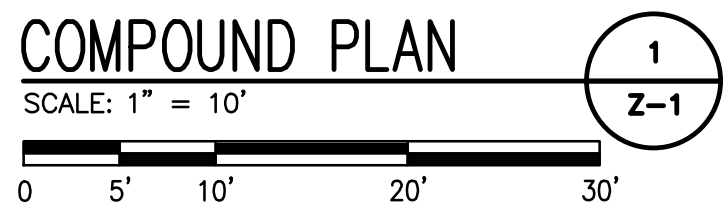
ACCESS WAY

DRAWING NO:

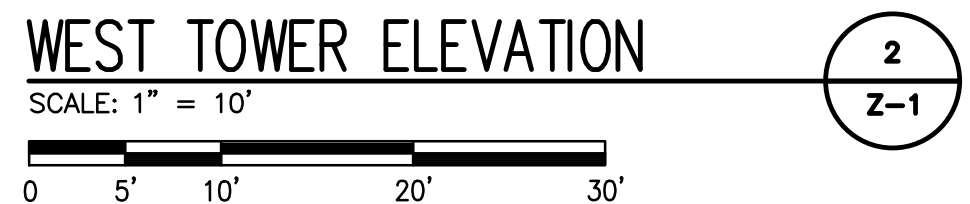
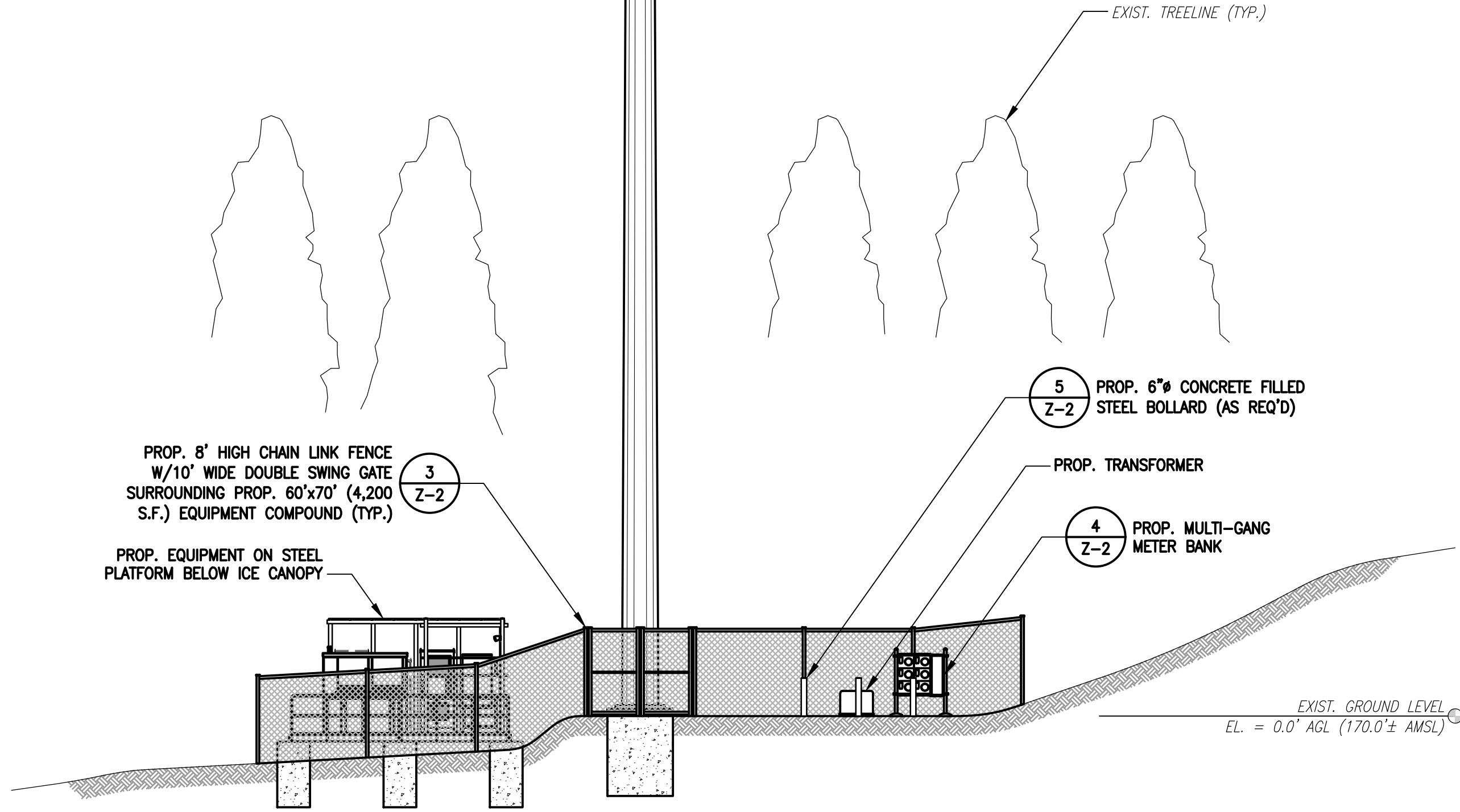
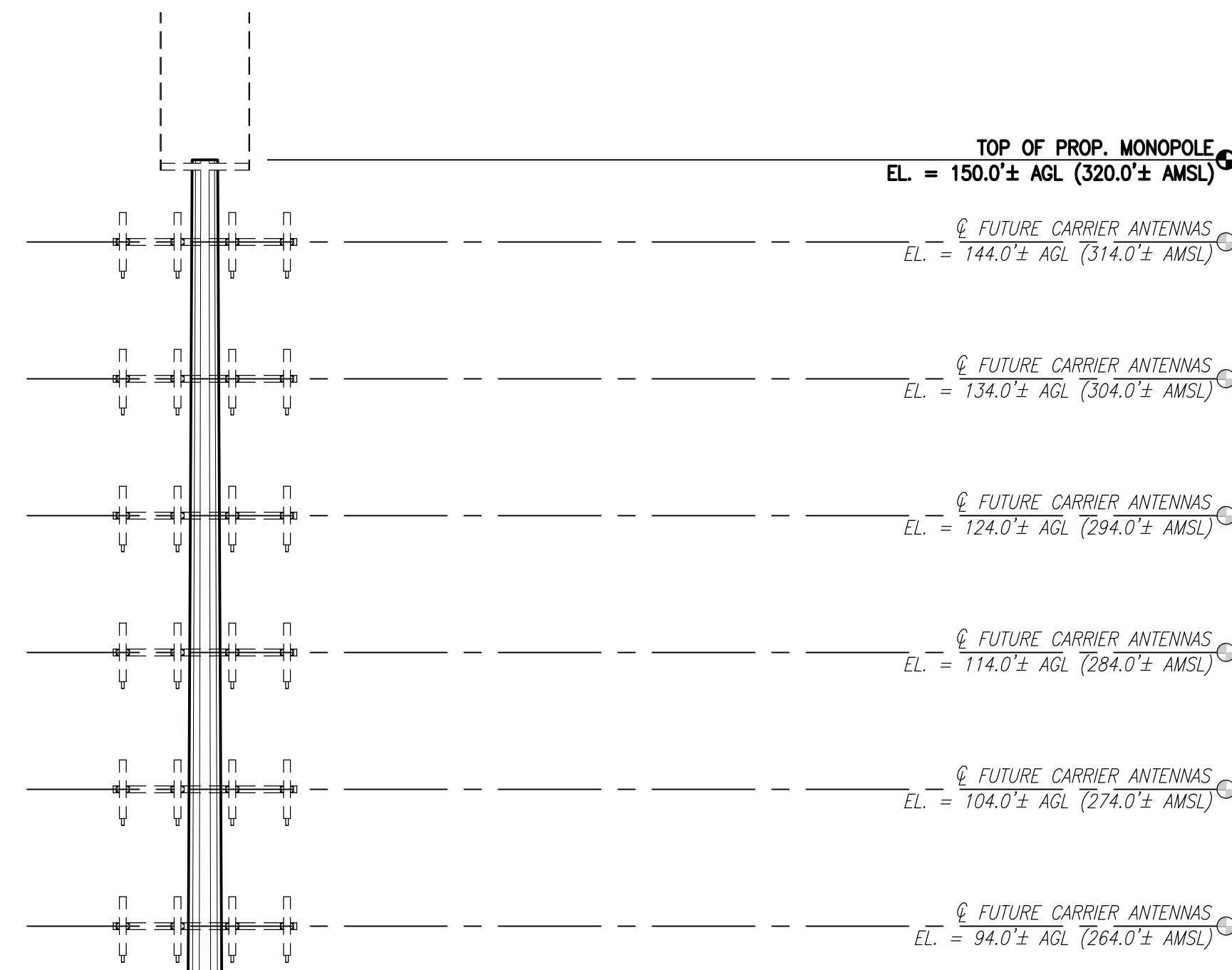
C-3



TREE LEGEND	
●	= TO REMAIN
⊗	= TO BE REMOVED



TYPICAL MUNICIPAL MOUNT
4-POSITIONS



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**MILLIS
WEC-MA-07**

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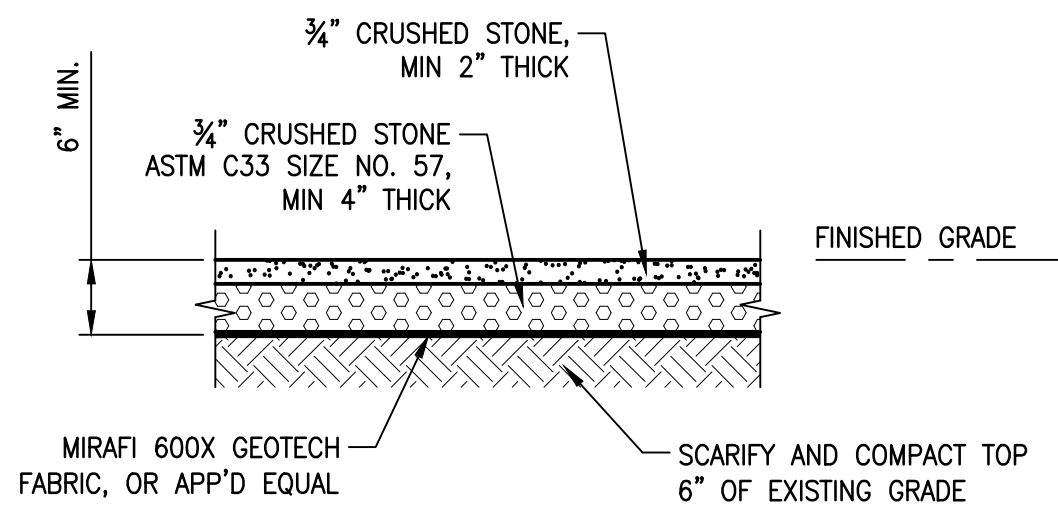
121 NORFOLK ROAD
MILLIS, MA 02054

DRAWING TITLE:

**COMPOUND PLAN
& ELEVATION**

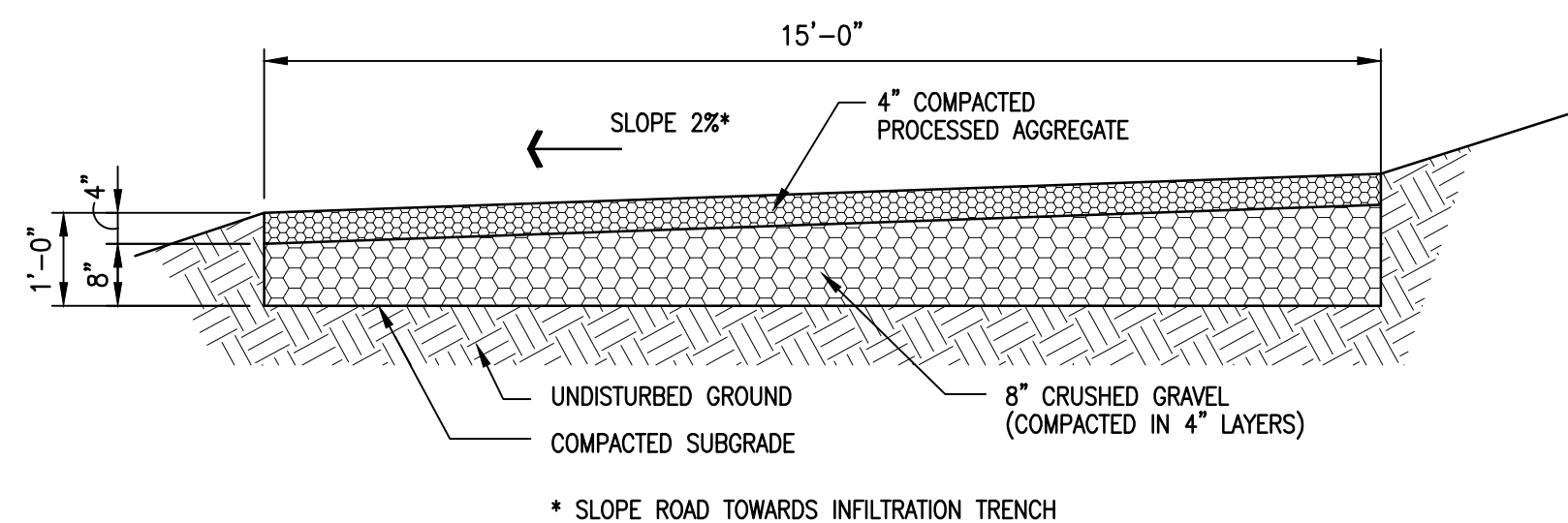
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Z-1

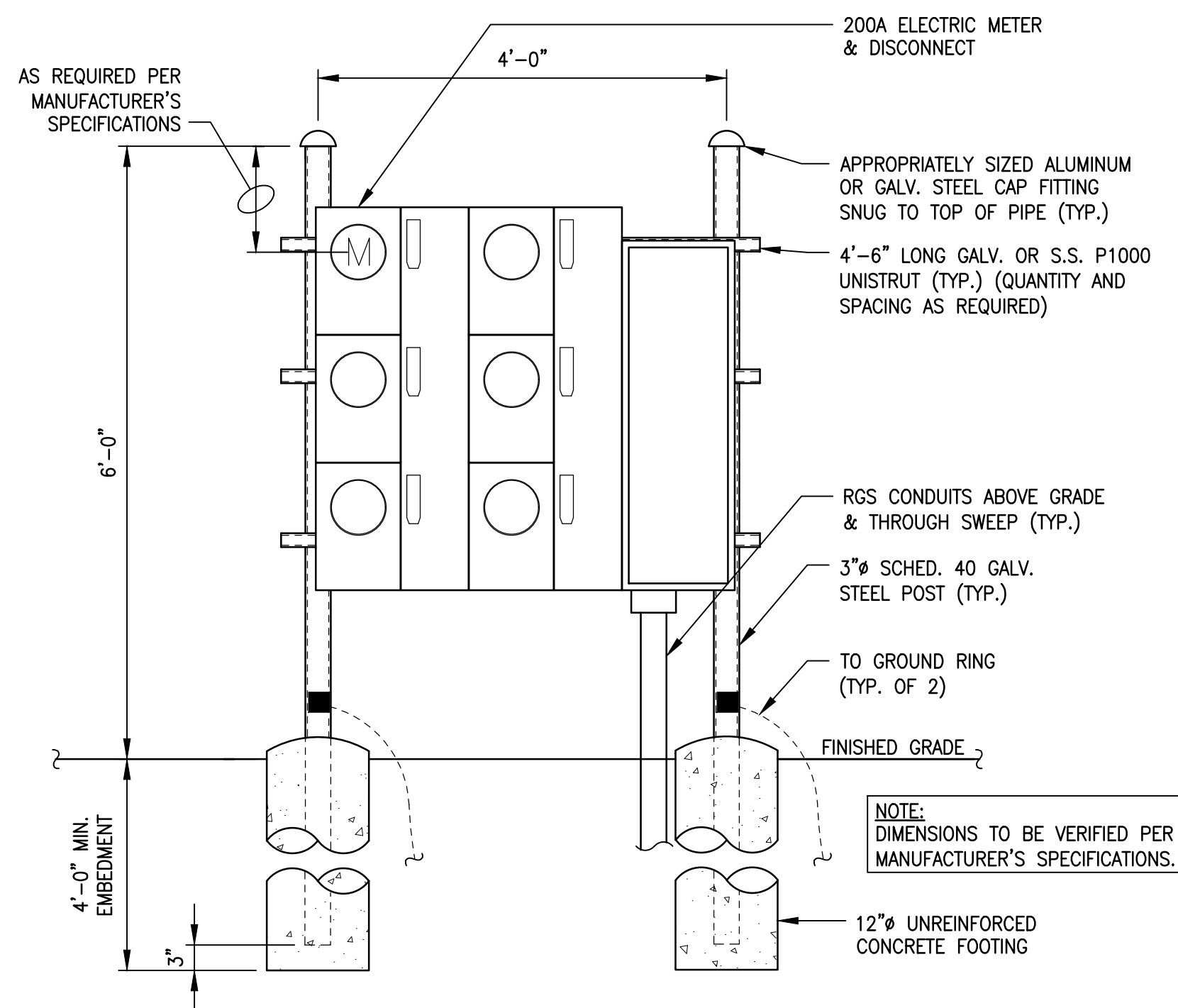


TYPICAL GRAVEL YARD DETAIL 1
SCALE: 3/4" = 1'-0"
0 1'-4" 2'-8" 4'-0"

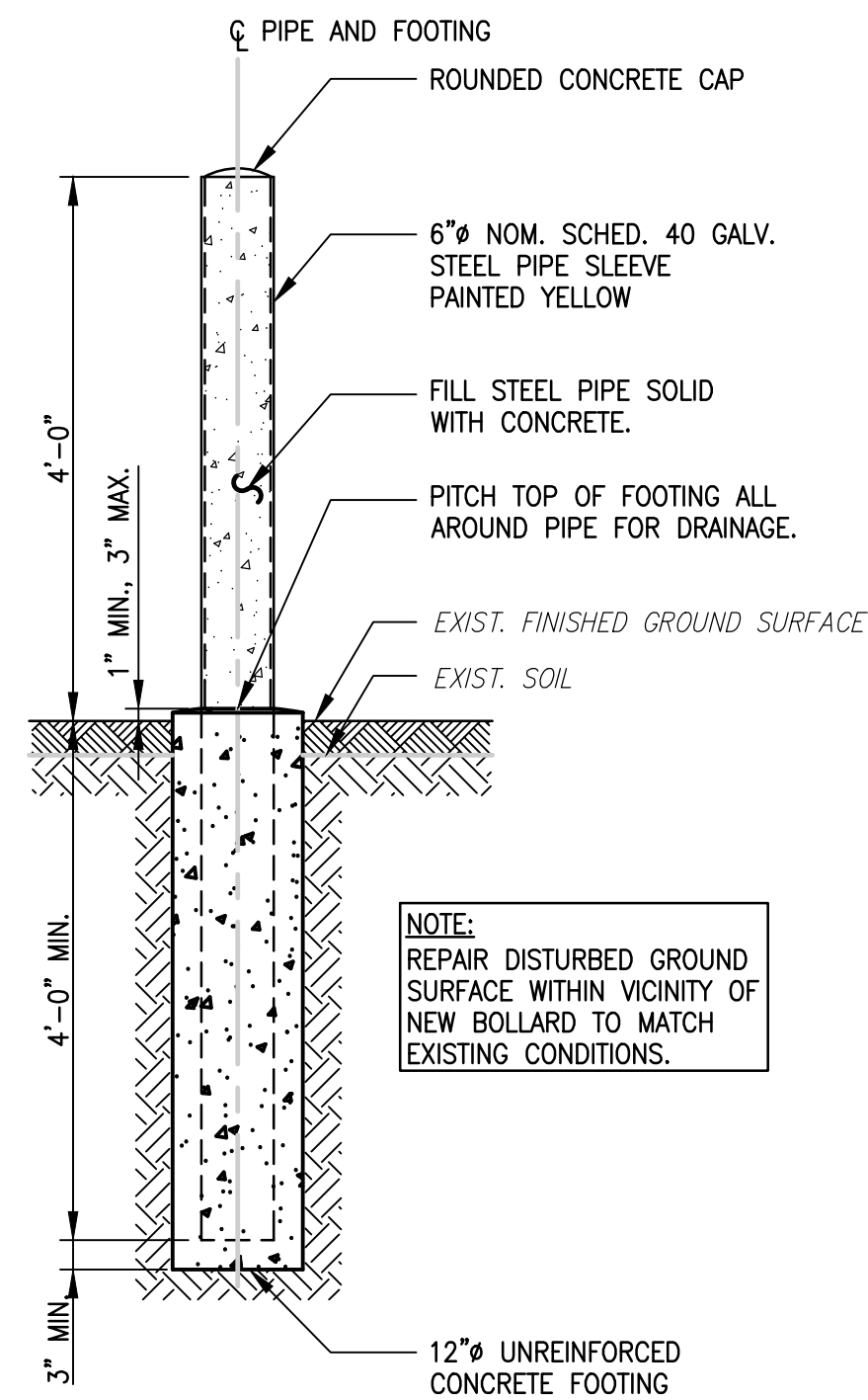
CRUSHED GRAVEL		PROCESSED AGGREGATE	
SIEVE	% PASSING BY WEIGHT	SIEVE	% PASSING BY WEIGHT
5"	100	2 1/4"	100
3 1/2"	90-100	2"	95-100
1 1/2"	55-95	3/4"	50-75
1 1/4"	25-60	1/4"	25-45
#10	15-45	#40	5-20
#40	5-25	#100	2-12
#100	0-10		
#200	0-5		



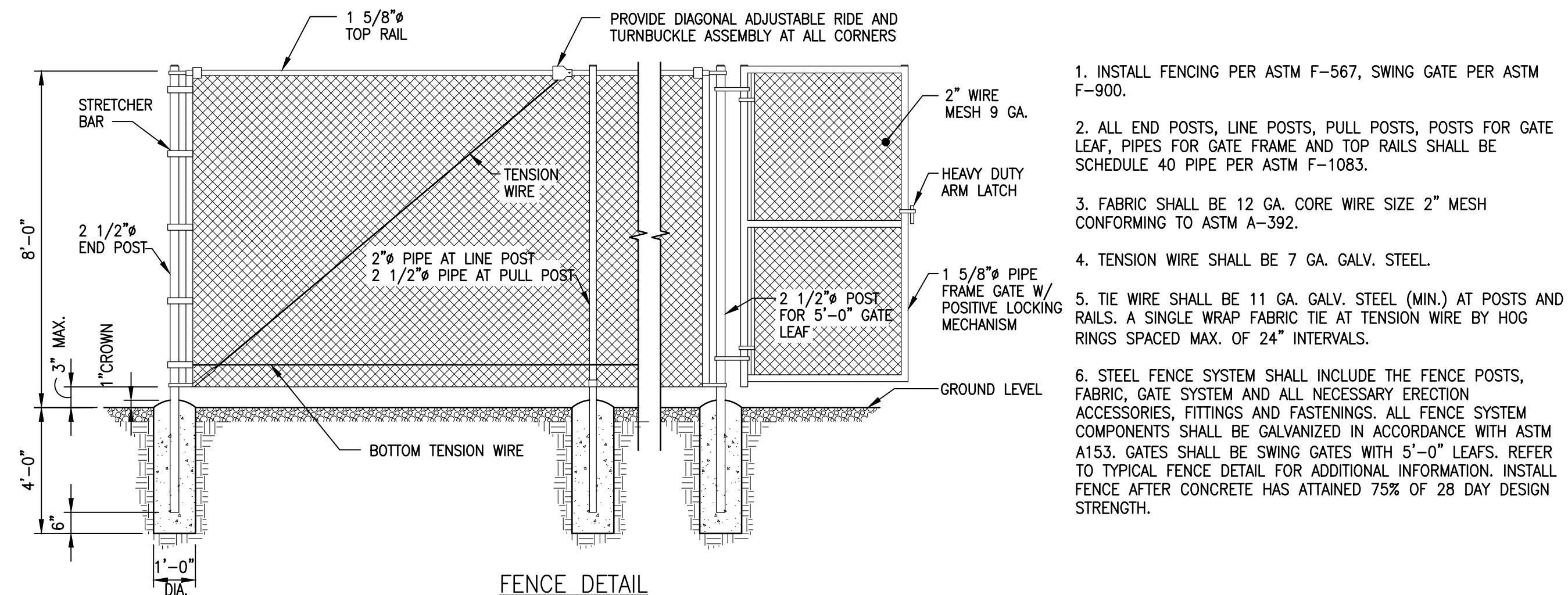
GRAVEL ACCESS DRIVEWAY CROSS SECTION 2
SCALE: N.T.S.



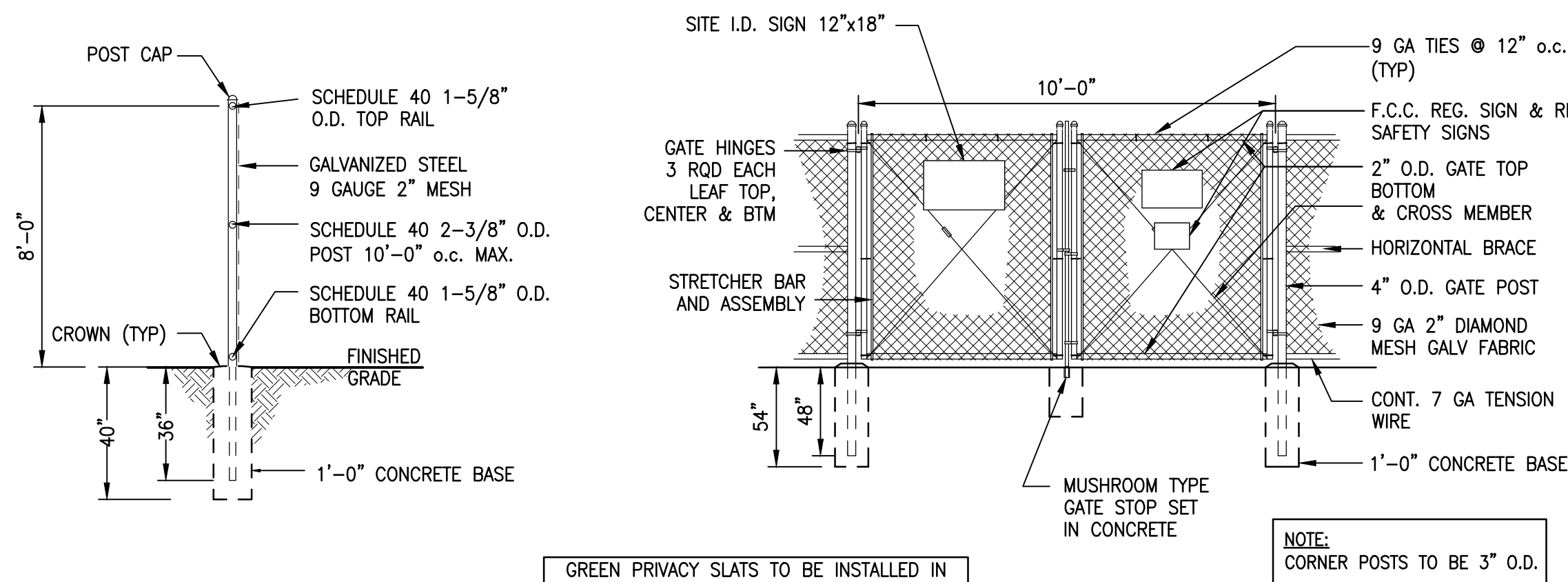
ELECTRIC METER UNISTRUT RACK 4
SCALE: 3/4" = 1'-0"
0 1'-4" 2'-8" 4'-0"



TYPICAL BOLLARD DETAIL 5
SCALE: N.T.S.



FENCE DETAIL



FENCE SIDE DETAIL

DOUBLE GATE DETAIL

TYPICAL FENCE DETAIL 3
SCALE: 3/8" = 1'-0"
0 1'-4" 2'-8" 5'-4" 8'-0"

Wireless EDGE
For Lease Information
1-914-712-000
Site: WEC-MA-07
www.wirelessedge.com
24 Hour emergency service call 1-888-200-1177

FCC
12"x18" WEC SITE IDENTIFICATION SIGN

NOTICE
Radio frequency fields beyond this point may exceed the FCC general public exposure limit.
Obey all posted signs and site guidelines for working in radio frequency environments.
FCC ID: WEC-MA-07

FCC
12"x18" RF NOTICE SIGN

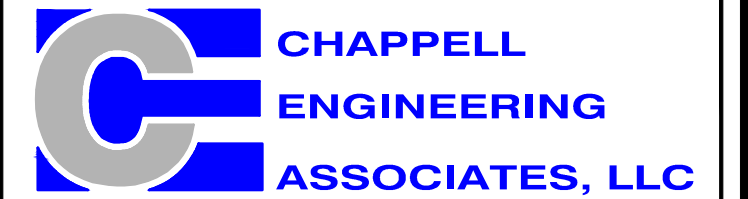
INFORMATION
Federal Communications Commission
Tower Registration Number
Posted in accordance with Federal Communications Commission rules on antenna tower registration 47CFR 17.4(g).

FCC
8"x12" TOWER REG. SIGN

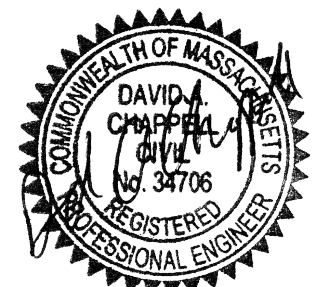
SIGNAGE DETAILS 6
SCALE: N.T.S.



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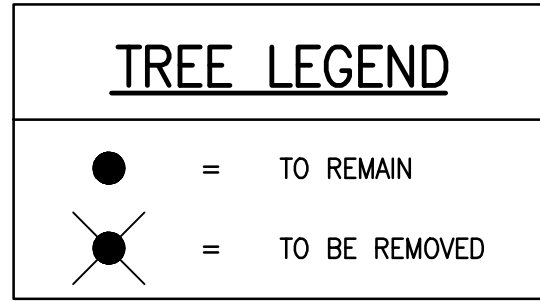
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121 NORFOLK ROAD
MILLIS, MA 02054

DRAWING TITLE:

SITE DETAILS

DRAWING NO:

Z-2



1. WATERING SAUCER SHALL BE FLOODED TWICE DURING THE FIRST 24 HOURS AFTER PLANTING.
2. TREE SHALL BE SET PLUMB.
3. DO NOT CUT LEADER.
4. AN IRRIGATION SCHEDULE FOR A TWO YEAR PERIOD SHALL BE IMPLEMENTED BY THE APPLICANT AND THE OWNER TO ENSURE THE PLANTS WILL TAKE ROOT AND SURVIVE.
5. PLANTINGS SHALL BE PLANTED APPROX. 5'± O.C.

